

Standard Home Inspection Report



File Number: 05-15-008
Status of Property: unoccupied
Type of Property: Single Family Home
Square Footage: 17,401± SF (not verified)
Age of Home: 2001± (not verified) Permitted prior to 2001 Unified Building Code
Date of Inspection: 04/22/2005
Time of Inspection: **Start:** 9:15 AM **Finish:** 2:45 PM
Weather conditions today: 80° F, Partly Cloudy
Recent weather conditions: no recent rain

Inspector: Craig P. Milliken, PE
Phone: (561) 866 9956

Scope of this Inspection Report

This Home Inspection Report describes items that were inspected on the Subject Property and contains the common elements found in most homes that the Home Inspection Industry recommends to be covered in a Standard Home Inspection.

If a checklist item is noted as a concern to the inspector, that line item is **highlighted in red** and further described in the comments within that section. Additional explanations and useful information are provided in the **Summary – Photos & Notes** at the end of this report. Cost estimates included in this report assume that Licensed Professional Trades perform the work.

It is not the intent of this report to assign responsibility to either the buyer or the seller to make the repairs or modifications to items that this report may identify as a concern. Please contact your Real Estate Agent or Attorney for guidance in this area.

This Standard Home Inspection Checklist, Summary Report, Notes and Photos may not address every problem that may exist with this property at the time of the inspection. **CPM Real Estate Inspections, Inc. makes no warranty that there are no other defects with the property.**

Any questions about the information contained in this report should be referred to the Inspector for clarifications. Please call (561) 866 9956 or contact the inspector by e-mail at info@real-estate-inspections.com for a prompt reply to your questions.

EXTERIOR ROOFING COMPONENTS		SECTION 101
TYPE OF ROOF AND ROOFING MATERIALS:		
Hip type roof, barrel shaped clay tiles over plywood sheathing		
ITEMS INSPECTED	CONCERNS	
DAMAGED OR MISSING TILES, SHINGLES, FELTS OR MEMBRANES	YES	
TREES BRANCHES TOUCHING ROOF STRUCTURE	YES	
EVIDENCE OF PATCHING OR REPAIRS	YES	
BLISTERING, SHRINKAGE, CRACKING OR DE-LAMINATION OF ROOFING MATERIALS		NO
EVIDENCE OF WATER PONDS ON FLAT SECTIONS		NO
WAVY RIDGES OR FIELDS		NO
INCORRECT FLASHING AROUND SKYLIGHTS, VENTS OR STACKS		NO
FASCIA TRIM BOARD DAMAGE BY WOOD DESTROYING ORGANISMS		NO
MISSING OR DAMAGED ATTIC VENTILATION VENTS OR DEVICES		NO
INSUFFICIENTLY SIZED OR BLOCKED VENTILATION OPENINGS		NO
TORN OR DAMAGED VENT SCREENING		NO
IMPROPERLY SLOPED GUTTERS	YES	
GUTTERS AND LEADERS CLOGGED WITH DEBRIS		NO
INSECURELY FASTENED, DAMAGED OR MISSING GUTTER OR LEADER SECTIONS		NO
LEADERS TERMINATE TOO CLOSE TO HOME		NO
RAINWATER RUNOFF FROM ROOF NOT CHanneled AWAY FROM ENTRANCES		NO
Comments:		
<p>This roof appears to be professionally installed and in a water tight condition. The following items need attention:</p> <ol style="list-style-type: none"> 1. There are a number of cracked, loose or displaced tiles that need to be aligned and secured with roofing mastic. Some previous attempts at repair need further work. See photos # 2 - 6 2. Stone fascia panels over the east garage section have joints that were not grouted. See photo # 8 3. Sheet metal chimney cap is loose and needs tightening to flue. See photo # 7 4. There is debris on the roof that needs to be cleared. <ol style="list-style-type: none"> a. Empty caulking tube on north side b. Plywood and trim inside pinnacle over east garage section c. Tile and mortar chips blocking valley over master bathrooms and several other areas that need to be cleared. 5. Palm tree branches need to be trimmed away from the roof on south side 6. A gutter needs adjustment over the front entrance to the courtyard. Overflow is draining onto the walls under the balcony over the south side of this entrance and causing mildew growth on the walls. See photo # 10 		

INTERIOR ROOFING COMPONENTS		SECTION 102	
ITEMS INSPECTED	CONCERNS		
INADEQUATE, MISSING OR DISPLACED ATTIC AREA INSULATION	YES		
HURRICANE STRAPS MISSING OR NOT NAILED PROPERLY			NO
DAMAGED SHEATHING			NO
DAMAGED OR MODIFIED ROOF TRUSSES			NO
MOISTURE OR WATER STAINS NOTED IN ATTIC AREA	YES		
EVIDENCE OF TERMITES OR OTHER WOOD DESTROYING ORGANISMS IN ATTIC AREA			NO
Comments:			
<p>1. Insulation is displaced in the attic area over the family room. This was noted to Ryan Palamara of CW Communities.</p> <p>2. Water stains noted on access door under air handler over 2nd floor. This is being addressed by Automated Air Conditioning.</p> <p>3. A work platform needs to be installed in front of the air handler in the 2nd floor attic.</p> <p>Not all areas of the attic could be accessed to inspect due to limited head clearance.</p>			
SITE, STRUCTURE, FOUNDATION AND CONCRETE SLABS		SECTION 103	
TYPE OF BUILDING STRUCTURE: Concrete block and painted stucco			
SITE ELEVATION IN RELATION TO SURROUNDING AREA	HIGHER	SAME	LOWER
POTENTIAL FOR FLOODING OF STRUCTURE	HIGH	AVERAGE	LOW
ITEMS INSPECTED	CONCERNS		
INADEQUATE SITE GRADING AWAY FROM ENTRANCES TO HOME OR GARAGE			NO
INADEQUATE SITE GRADING AWAY FROM PATIOS, WALKWAYS OR POOL DECK			NO
CRACKING OR DISPLACEMENT OF STRUCTURAL WALLS			NO
INSUFFICIENTLY SUPPORTED FLOORING OR WALLS			NO
CRACKING OR DISPLACEMENT OF PERIMETER FOUNDATION/FOOTER			NO
CRACKING OR DISPLACEMENT OF CONCRETE SLABS			NO
EVIDENCE OF DRY WOOD TERMITES, SUBTERRANEAN TERMITES OR OTHER WOOD DESTROYING ORGANISMS			NO
Comments:			
<p>No visible evidence of Termites or any other Wood Destroying Organisms. See WDO report from AAA Riteway Pest Management Services.</p> <p>1. Two round column trim casings on the patio south of the dining room are cracked. These need to be examined by the installer and adjusted to relieve any compression stress that may be causing the cracks. The cracks are probably due to minor settling of the structure. This is a cosmetic issue and not a structural defect; however if not properly addressed the cracks may expand and be difficult to mend to an aesthetically acceptable condition. See photo # 12</p>			

WINDOWS, EXTERIOR DOORS, OPENINGS AND SCREENING		SECTION 104
ITEMS INSPECTED	CONCERNS	
WINDOW GLAZING, FRAMES, LOCKS OR OPENING MECHANISMS NEEDING REPAIR OR ADJUSTMENT		NO
MISSING OR DAMAGED WINDOW SCREENS OR FRAMES	YES	
BROKEN OR DAMAGED EXTERIOR DOORS, LOCKS, HANDLES OR HINGES		NO
DAMAGED WEATHER STRIPING AROUND EXTERIOR DOOR JAMBS		NO
MISSING OR DAMAGED PATIO AREA SCREENING, DOORS OR HARDWARE		NA
DAMAGED ROLLERS, LOCKS OR HANDLES ON SLIDING DOORS AND SCREENS		NO
DIRTY TRACKS AND ROLLERS FOR SLIDING DOORS AND SCREENS		NO
DAMAGED GARAGE DOOR SECTIONS, TRACK, ROLLERS OR WEATHER STRIPING	YES	
INOPERATIVE GARAGE DOOR OPENER OR ELECTRIC-EYE SAFETY MECHANISM		NO
Comments:		
<ol style="list-style-type: none"> 1. Exterior painted surface on mullion of living room window is damaged from tree limbs from a palm tree. 2. Vertical weather striping on south garage door (west garage structure) is twisted and needs to be straightened. 3. Stored materials blocked access to the attic area over the west garage. These need to be removed by the builder. 4. Closet off lower walkway from front entrance to the guest house is full of paint materials from the contractors that need to be removed. 		
INTERIOR CEILINGS, WALLS, STAIRWAYS, FLOORS, DOORS, TILE AND MILLWORK		SECTION 105
ITEMS INSPECTED	CONCERNS	
WATER DAMAGE OR STAINS ON CEILINGS, WALLS OR FLOORS	YES	
LOOSE STAIRS, TREADS, RAILINGS OR BALUSTERS		NA
DOORS, DRAWERS, HINGES OR LATCHING MECHANISMS NEEDING ATTENTION	YES	
BROKEN OR LOOSE TILES ON FLOORS OR WALLS		NO
Comments:		
<ol style="list-style-type: none"> 1. Moisture stains were noted around two A/C supply air diffusers on the second floor of the main house. These stains appear to be caused by moist air condensing on the cold diffusers. This is probably due to windows or exterior doors being left open during summer months and allowing the moist warm air to contact the cold metal surfaces of the diffusers. Andrew Balogh of Automated Air Conditioning is addressing the problem. The paint around these two diffusers needs to be touched up with primer and color coat to adequately cover the stains. This is a common problem in Florida. 2. Closet door to central vacuum in east garage missing hardware. 3. Drywall penetrations in ceiling of closet off hallway near kitchen need to be sealed. 4. Drywall penetrations behind steam generator in guest house need to be sealed. 5. Drywall penetrations under powder room sink need to be sealed. 		

AIR CONDITIONING AND HEATING SYSTEM		SECTION 106
This home has six split type A/C systems		
EVAPORATORS / AIR HANDLERS SECTION		
APPROXIMATE AGE OF UNITS: 2002		
ITEMS INSPECTED	CONCERNS	
DIRTY, MISSING OR INADEQUATE AIR FILTER ASSEMBLIES		NO
REFRIGERANT LINES OR CONDENSATE DRAIN PIPING NOT PROPERLY INSULATED	YES	
ELECTRICAL DISCONNECT NOT WITHIN LINE OF SITE AND EASILY ACCESSIBLE		NO
COIL, DRIP PAN OR PIPE CLOGGED WITH SLUDGE, MOLD, DIRT OR CORROSION	YES	
EXCESSIVE FAN NOISE OR VIBRATION FROM UNIT		NO
HOUSING OR SYSTEM DUCTWORK NOT AIR TIGHT OR CRUSHED	YES	
SYSTEM COOLING CAPACITY DESIGN - NOT SUFFICIENT FOR SIZE OF HOME		NO
THERMOSTAT AND CONTROLS NOT FUNCTIONING PROPERLY		NO
CONDENSING UNITS/ COMPRESSOR SECTION		
APPROXIMATE AGE OF UNITS: 2002		
ITEMS INSPECTED	CONCERNS	
INSTALLATION OF UNIT NOT LEVEL AND SECURE		NO
EXCESSIVE COMPRESSOR OR FAN MOTOR NOISE OR VIBRATIONS		NO
INADEQUATE VENTILATION AROUND UNIT DUE TO BRUSH OR STRUCTURES		NO
CONDENSING COIL DIRTY OR FOULED WITH DEBRIS		NO
ELECTRICAL DISCONNECT NOT WITHIN LINE OF SITE AND EASILY ACCESSIBLE		NO
SUCTION LINE PIPING NOT INSULATED PROPERLY		NO
PIPING PENETRATIONS INTO HOME NOT SEALED TO PREVENT PEST INTRUSIONS		NO
Comments:		
<p>There are six split type systems in this home. These systems were being thoroughly inspected by Automated Air Conditioning Services. They are preparing a separate report for the buyer. The following items were noted by CPM Real Estate Inspection, Inc.</p> <ol style="list-style-type: none"> 1. The air handler serving the master bedroom suite had a condensate leak that severely damaged the drywall plenum under it. This is being repaired by the contractor. 2. All air handlers have the potential to leak condensate. It is recommended that leak detection shut-off switches be installed on all units. Only two of the six units had these devices installed. 3. Refrigerant lines on the air handler in the closet next to the kitchen need to be insulated. 4. A small air leak was noted in a duct in the attic over the 2nd floor. Automated Air Conditioning is making the repair. <p>Residential A/C systems typically have a reliable service life expectancy of 10 – 15 years if properly maintained.</p>		

ELECTRICAL SERVICE AND BRANCH CIRCUITS		SECTION 107
LOCATION AND TYPE OF SERVICE ENTRANCE: west side of garage – underground service entrance		
LOCATION OF ELECTRICAL DISCONNECT: west side of garage SERVICE: 220 Volts 400 amps		
ITEMS INSPECTED	CONCERNS	
SERVICE ENTRANCE WIRES NOT PROPERLY PROTECTED OR TOUCHING TREES		NO
SIZE OF SERVICE NOT ADEQUATE FOR SIZE OF HOME		NO
LOOSE LUGS OR WIRE CONNECTIONS IN PANELS		NO
IMPROPER USE OF DOUBLE TAPS AT BREAKERS		NO
GROMMETS MISSING AT PANEL KNOCK OUTS		NO
COVER PLATES OR BLANK-SPACE PLATES MISSING IN PANELS		NO
CIRCUIT DIRECTORIES NOT ADEQUATELY PROVIDED INSIDE DOORS OF PANELS		NO
INADEQUATE OR LOOSE GROUND CONNECTION		NO
EXPOSED BRANCH CIRCUIT WIRING NOTED	YES	
LOOSE JUNCTION BOXES FOR SWITCHES OR CONVENIENCE OUTLETS		NO
AFCI/GFI CIRCUIT BREAKERS OR OUTLETS DO NOT TEST PROPERLY		NO
CONVENIENCE OUTLETS DO NOT TEST PROPERLY		NO
EVIDENCE OF UNPROFESSIONAL WIRING MODIFICATIONS TO ORIGINAL WIRING		NO
EXHAUST OR CEILING FANS NOT FUNCTIONING PROPERLY	YES	
Comments:		
<p>All electrical appears to be professionally installed and in good condition.</p> <ol style="list-style-type: none"> This home is equipped with a generator and transfer switch for emergency power. The system is being maintained by OK Generators. Phone 800.385.3187 This home is equipped with a Lutron lighting control system. This system needs to be programmed by a representative of that company for the specific lighting needs of the owner. CW Communities should set an appointment with the buyer and Lutron representative. A trim plate needs to be installed over a light switch near the air handler in the attic above the 2nd floor. The ceiling exhaust fan in the “His” master bath is noisy and needs to be checked. The kitchen exhaust fan over the stove did not function and needs to be checked. 		

PLUMBING AND WATER FIXTURES		SECTION 108
SOURCE OF POTABLE WATER: City Water TYPE OF SEWER CONNECTION: City Sewer (assumed)		
LOCATION OF WATER SUPPLY SHUT-OFF VALVE: West side of home		
ITEMS INSPECTED		CONCERNS
INADEQUATE PRESSURE OR WATER FLOW AT FIXTURES		POSSIBLE
FROZEN SERVICE VALVES UNDER SINKS		not checked
Opening service valves may cause them to leak. We do not test them and recommend that you not do so either unless you are knowledgeable about how to repair or replace them. We recommend that you use the main water shut off valve to the home as an alternative if you need to repair or replace a faucet.		
CLOGGED DRAINS		NO
BROKEN FIXTURES		NO
BATHROOM SINKS NOT SECURELY FASTENED OR FUNCTIONING PROPERLY		NO
TOILETS NOT SECURELY ANCHORED OR FUNCTIONING PROPERLY		NO
LEAKING FIXTURES		YES
BATHROOM SPA NOT FUNCTIONING PROPERLY		NA
DEFECTIVE MISCELLANEOUS ITEMS		YES
Comments:		
<ol style="list-style-type: none"> 1. Water pressure dropped significantly when multiple spray nozzles were opened in the "Hers" shower. A plumber should review the size of the feed line to these fixtures for proper sizing. 2. Flexible hose fitting in "Hers" shower leaks. 3. Control valve on Bidet is loose. 4. Steam room equipment in guest house did not function. 		
HOT WATER HEATER		SECTION 109
CAPACITY: Three tanks @ 75 gallons each – gas fired WATER TEMPERATURE: all units turned off		
APPROXIMATE AGE OF UNITS: 2002 Mfg. date		
ITEMS INSPECTED		CONCERNS
INSUFFICIENT CAPACITY FOR SIZE OF HOME AND NUMBER OF OCCUPANTS		NO
PRESSURE RELIEF VALVE AND WATER LINE CONNECTIONS NOT INSTALLED PROPERLY		NO
RELIEF VALVE DISCHARGE NOT TERMINATED TO A SAFE AND VISIBLE LOCATION		NO
Comments:		
<ol style="list-style-type: none"> 1. None of the hot water tanks were functioning at the time of this inspection. All need to be checked and adjusted to a suitable temperature by a plumber. 2. It is recommended that a leak detection switch be installed under the tank located in the hallway closet near the kitchen area. 		
NOTE: WATER TANKS CAN LAST 10 – 20 – 30 YEARS IF PROPERLY MAINTAINED. Most plumbers recommend that tanks be replaced every 10 years if a failure of the tank might cause flooding to the surrounding area or structure below where it is mounted.		

MAJOR HOME APPLIANCES		SECTION 110
DEVICES INSPECTED	CONCERNS	
CLOTHES WASHER (2)		
DEVICE NOT FUNCTIONING PROPERLY		NO
CRACKED OR DAMAGED HOSE CONNECTIONS		NO
CLOTHES DRYER (2)		
EXHAUST DUCT CRUSHED OR NOT SECURE		NO
DEVICE NOT FUNCTIONING PROPERLY		NO
REFRIGERATOR/FREEZER/ICEMAKER (2)		
DOORS SEALS NOT TIGHT		NO
ICE MAKER NOT FUNCTIONING		UNKNOWN
EXCESSIVE FROST BUILD UP		NO
DEVICE NOT FUNCTIONING PROPERLY		NO
DISHWASHER (2)		
MISSING OR DEFECTIVE PARTS		NO
FAULTY SEALS OR EVIDENCE OF LEAKS		UNKNOWN
DOES NOT DRAIN PROPERLY		UNKNOWN
DEVICE NOT FUNCTIONING PROPERLY		UNKNOWN
STOVE AND OVEN (2)		
STOVETOP ELEMENTS NOT FUNCTIONING PROPERLY		NO
OVEN ELEMENT NOT FUNCTIONING PROPERLY		UNKNOWN
BROILER ELEMENT NOT FUNCTIONING PROPERLY		UNKNOWN
EXHAUST HOOD NOT FUNCTIONING PROPERLY		YES
MICROWAVE		
DEVICE NOT FUNCTIONING PROPERLY		NO
Comments:		
<ol style="list-style-type: none"> 1. Ron Yates of CW Communities stated that all installed appliances and equipment will be covered under a warranty backed by the builder. It is assumed that all of the equipment and appliances are beyond their manufacturer's warranty periods. 2. Many of the appliances had packing materials and manuals in them and were not tested during this inspection. It is recommended that the buyer ask for a demonstration by the builder of all appliances after the hot water tanks are turned on and packing materials are removed. 3. Turning the knob on the exhaust fan over the main stove did not turn on the fan. This needs to be checked by the builder. 4. The intercom, Lutron lighting controls, security alarms, home theater equipment, remote pool and fountain controls were not checked. These require technicians that are familiar with the programming. The buyer is advised to ask for demonstrations and instructions from the installers of these devices. It is assumed that all of these systems will be covered under a written warranty from the builder. 		

TURF, LANDSCAPE, WALKWAYS, DRIVES		SECTION 111
ITEMS INSPECTED	CONCERNS	
TREE ROOTS INVADING FOUNDATION WALLS OR WALKWAYS		NO
DAMAGED OR DISPLACED WALKWAY/DRIVE PAVERS OR SLABS	YES	
Comments:		
<ol style="list-style-type: none"> 1. Missing stone in paving east of the pool. 2. Drain located in front of main entrance appears to be clogged or improperly elevated. The area is constantly wet and may need additional fill. 3. The turf is full of fire ant colonies. 		

IRRIGATION SYSTEM		SECTION 112
WATER SOURCE: Pump fed from lake?		
ITEMS INSPECTED	CONCERNS	
DRY SPOTS – INADEQUATE COVERAGE		NO
CONTROL VALVE NOT FUNCTIONING PROPERLY IN MANUAL MODE		NO
<small>NOTE: TIMERS ARE NOT CHECKED FOR PROPER TIME KEEPING OR AUTOMATIC FUNCTIONS. THIS REQUIRES EXTENDED OBSERVATION.</small>		
Comments:		
Irrigation systems typically need an annual professional tune-up to compensate for landscape growth. This will align heads properly, keep spray off of the home and conserve water. Cost \$ 500 - \$ 1000 (discretionary)		

POOL, SPA AND EQUIPMENT		SECTION 113
ITEMS INSPECTED	CONCERNS	
PUMP, FILTER ASSEMBLY OR ASSOCIATED EXPOSED PIPING LEAKING		NO
PUMP OR MANUAL CONTROLS NOT FUNCTIONING		NO
<small>NOTE: TIMERS ARE NOT CHECKED FOR PROPER TIME KEEPING OR AUTOMATIC FUNCTIONS. THIS REQUIRES EXTENDED OBSERVATION.</small>		
POOL/SPA HEATER NOT FUNCTIONING	YES	
POOL DECK DEFECTS OR NOT SLOPED PROPERLY AWAY FROM POOL		NO
EVIDENCE OF LEAKS OR CRACKS IN POOL BASIN		NO
<small>NOTE: LEAKS IN THE POOL/SPA BASIN OR UNDERGROUND PIPING CAN USUALLY ONLY BE DETERMINED OVER A PERIOD OF SEVERAL DAYS OF OBSERVATION.</small>		
POOL AREA NOT PROPERLY FENCED FOR PERIMETER SECURITY		NO
POOL SURFACE DETERIORATED		NO
<small>NOTE: MANY REALTORS AND ATTORNEYS CONSIDER THIS A COSMETIC ISSUE IN REAL STATE SALES CONTRACTS</small>		
Comments:		
1. The pool and spa heaters were not functioning. These are gas fired units.		



CHARLES H. BRONSON
COMMISSIONER

Florida Department of Agriculture & Consumer Services
Division of Agricultural Environmental Services

WOOD-DESTROYING ORGANISMS INSPECTION REPORT

Section 482.226, Florida Statutes
Telephone: (850) 921-4177

Licensee name AAA RiteWay Pest Management SVS License Number JB121986
 Licensee address 950 S.E. Deerfield Av Deerfield Pch FL 33441
 Inspector Ken Robinson Inspection Date 4-22-05 Identification Card No. JE 86220
 Requested by Craig Milligan (Name) (Address)
 Property Inspected 9294 Hawk shadow lane (Address)
 Specific structures inspected main house and guest house
 Structures on property NOT inspected none
 Areas of structure(s) NOT inspected none
 Reason Not inspected _____

SCOPE OF INSPECTION

"Wood-destroying organism" means arthropod or plant life which damages and can reinfest seasoned wood in a structure, namely, termites, powder post beetles, oldhouse borers, and wood-decaying fungi.

THIS REPORT IS MADE ON THE BASIS OF WHAT WAS VISIBLE AND ACCESSIBLE AT THE TIME OF INSPECTION and is not an opinion covering areas such as, but not necessarily limited to, those that are enclosed or inaccessible, areas concealed by wall-coverings, floor coverings, furniture, equipment, stored articles, or any portion of the structure in which inspection would necessitate removing or defacing any part of the structure.

THIS IS NOT A STRUCTURAL DAMAGE REPORT. A wood-destroying organisms inspector is not ordinarily a construction or building trade expert and therefore is not expected to possess any special qualifications which would enable him to attest to the structural soundness of the property. IF VISIBLE DAMAGE OR OTHER EVIDENCE IS NOTED IN THIS REPORT (ITEM NUMBER (3) OF THIS REPORT) FURTHER INVESTIGATION BY QUALIFIED EXPERTS OF THE BUILDING TRADE SHOULD BE MADE TO DETERMINE THE STRUCTURAL SOUNDNESS OF THE PROPERTY. This property was not inspected for any fungi other than wood decaying fungi, and no opinion on health related effects or indoor air quality is provided or rendered by this report. Individuals licensed to perform pest control are not required, authorized or licensed to inspect or report for any fungi other than wood decaying fungi, nor to report or comment on health or indoor air quality issues related to any fungi. Persons concerned about these issues should consult with a certified industrial hygienist or other person trained and qualified to render such opinions.

THIS REPORT SHALL NOT BE CONSTRUED TO CONSTITUTE A GUARANTEE OF THE ABSENCE OF WOOD-DESTROYING ORGANISMS OR DAMAGE OR OTHER EVIDENCE UNLESS THIS REPORT SPECIFICALLY STATES HEREIN THE EXTENT OF SUCH GUARANTEE.

REPORT OF FINDINGS

(1) Visible evidence of wood-destroying organisms observed: No Yes _____ (Common Name of Organisms) _____
 Locations: _____
 (2) Live wood-destroying organisms observed: No Yes _____ (Common Name of Organisms) _____
 Locations: _____
 (3) Visible damage observed: No Yes _____ (Common Name of organisms causing damage) _____
 Locations: _____
 (4) Visible evidence of previous treatment was observed: No Yes _____
 Explain: _____
 (5) This company has treated the structure(s) at time of inspection: No Yes If YES: A copy of the contract is attached.
 _____ (Organisms treated) _____ (Pesticide Used)
 (6) This company has treated the structure(s) No Yes If YES: Date of treatment: _____
 _____ (Common name of organisms) _____ (Common name of pesticide)
 (7) A notice of this inspection and/or treatment has been affixed to the structure(s)
Attic (Location of notice(s))

COMMENTS: _____

Neither the licensee nor the inspector has any financial interest in the property inspected or is associated in any way in the transaction with any party to the transaction other than for inspection purposes.

SEND REPORT TO PERSON WHO REQUESTED THIS INSPECTION AND TO: _____

Signature of Licensee or Agent Keith Rhine Date 4-22-05

DACS 12645, Rev. 02-04 (Obsoletes Previous Editions)

Summary – Photos & Notes

Overall Evaluation: Overall this home appears to be in good condition. Many of the items noted in this report were shown to and discussed with CW Communities representatives or to Automated Air Conditioning representatives.

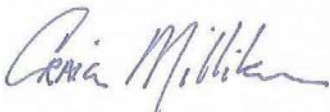
- The air conditioning systems are being fully inspected by Automated Air Conditioning and problems found appear to be correctable.
- All plumbing fixtures and appliances connected to hot water lines need to be monitored after the start-up of the three hot water heater tanks. Some fittings may leak at higher temperatures.
- There was no visible evidence of active mold or moisture problems noted in this home except:
 1. Water damaged drywall under the air handler located adjacent to the master bedroom suite. This problem is being corrected by Automated Air Conditioning personnel
 2. Surface mildew on two supply air diffusers on the 2nd floor of the main house. This problem is being corrected by Automated Air Conditioning personnel
- There was no visible evidence of termites or other wood boring insects within this home.
- There was no evidence of wood rot caused by fungi and moisture noted within this home

Photos and notes at the end of this report contain additional information.

Reasonable effort was made to view all safely accessible areas of this home. Concealed items cannot normally be inspected without using invasive procedures or special testing equipment that is beyond the scope of this type of general inspection. This Standard Home Inspection Report may not address every problem that may exist with this property at the time of this inspection. **CPM Real Estate Inspections, Inc. makes no warranty that there are no other defects with this property.**

If anyone would like to discuss anything contained in this report, please call me at (561) 866 9956.

Thank you for choosing CPM Real Estate Inspections, Inc.



Craig Milliken, PE
CPM Real Estate Inspections, Inc.



Photo # 1

Overall the workmanship in the roof sections appears to have been professionally performed; however there are a number of items needing attention shown in the following photos.



Photo # 2

Displaced tile at SW corner of roof



Photo # 3

Missing tile on SE section of roof.



Photo # 4

Numerous loose tiles along this ridge over the master bedroom suite.

It is estimated that there are at least 100 tiles that are loose throughout the roof. A roofing crew needs to examine the entire roof and secure all loose tiles with mastic.



Photo # 5

Debris is blocking the valley over the master bedroom suite.

Debris (excess mortar and tile chips) was noted over many sections of the roof. If not removed it may cause similar blockage problems which can contribute to roof failures at critical points.



Photo # 6

Construction debris inside pinnacle over east garage.

This is a piece of plywood and a piece of trim.



Photo # 7

Loose chimney cap over living room area. Screws need to be tightened.

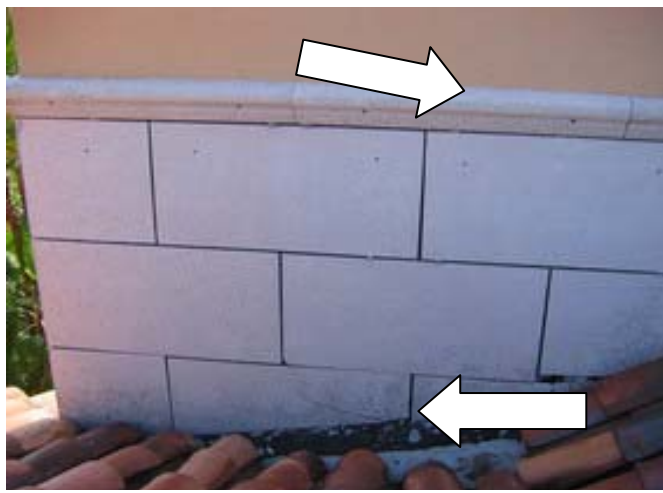


Photo # 8

Stone fascia trim panels over the east garage are not grouted.

Bottom panel is cracked.

Cracks in cap need caulking.

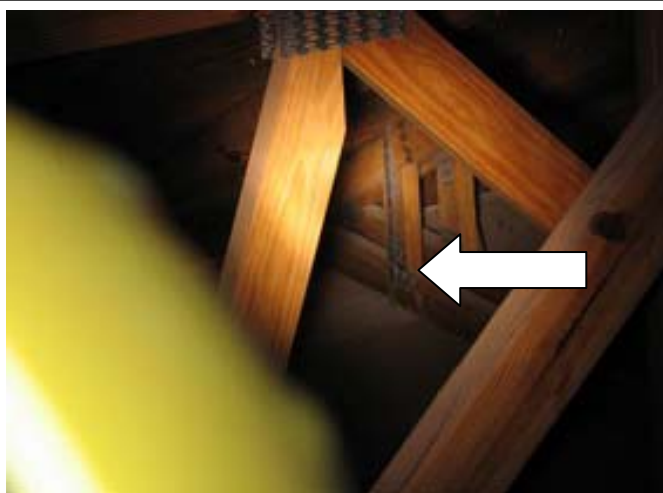


Photo # 9

Hurricane straps appear to be properly installed.



Photo # 10

Gutter over front entrance is reverse pitched and causing mildew on the walls below it.



Photo # 11

Mildew on walls under the balcony due to gutter problem shown in photo # 10.



Photo # 12

Significant stress cracks noted in two decorative trim column wraps outside of the dining room.

Some staining noted at the base of this crack appears to be rust. Moisture may be entering the crack and corroding the surface of the steel column inside.



Photo # 13

Damaged paint on exterior side of living room bay window due to palm tree limbs and wind.

All tree limbs need to be kept trimmed away from the walls and roof.



Photo # 14

Displaced insulation in the attic. This area is over the family room.



Photo # 15

Hardware missing in door latch assembly. This is in the east garage.

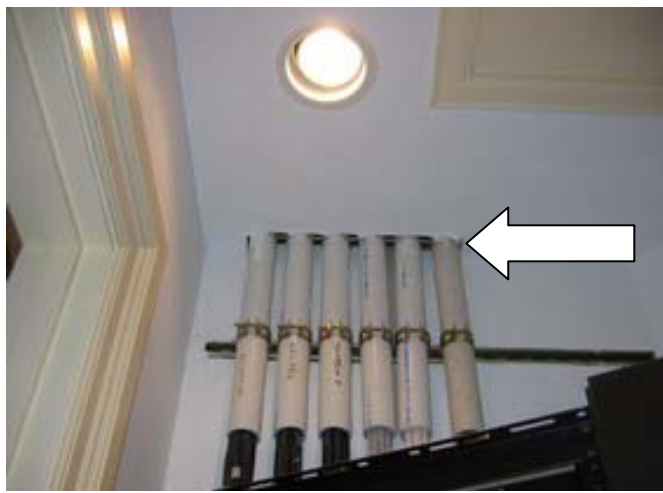


Photo # 16

Gaps around conduit penetrations through the drywall ceiling in a closet near the kitchen area.

This compromises the fire rating of the ceiling assembly.



Photo # 17

Gaps in drywall under the powder room sink.

This is poor workmanship.



Photo # 18

There are gaps in the drywall behind steam generator in guest house.

The steam generator did not function.

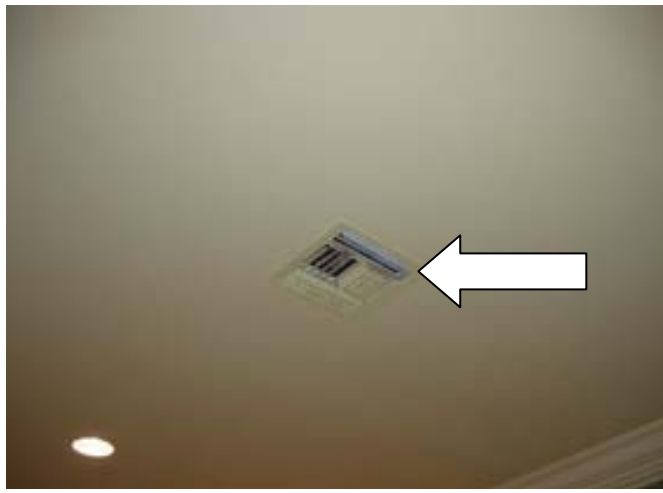


Photo # 19

Mildew stained diffuser in 2nd floor of main house.

The duct inside is not contaminated. This is a condensation problem being addressed by Automated Air Conditioning. Keep windows and doors closed during summer months.



Photo # 20

Refrigerant line insulation missing on air handler near kitchen.

All air handlers and condensing units should be labeled # 1 – 6 for ease of maintenance.

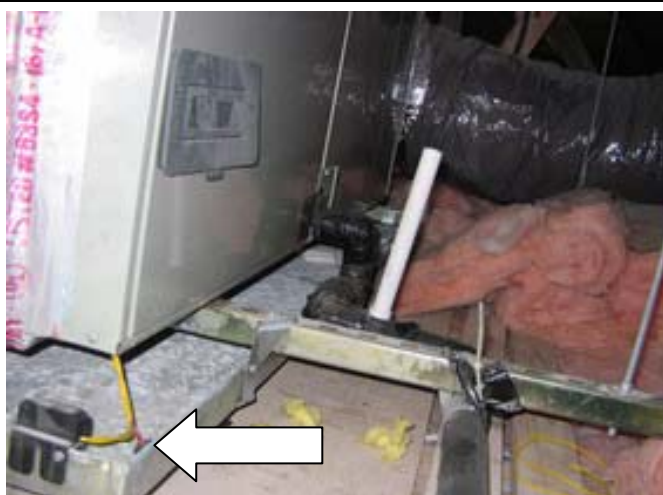


Photo # 21

Leak detection switches should be installed on all air handlers like this one in the attic of the second floor.



Photo # 22

Leak detection switches can avoid the kind of drywall damage noted under the air handler serving the master bedroom suite.



Photo # 23

The generator was not tested. These need to be run on a monthly basis and regular maintenance to ensure that they stay in a ready condition.

Ask the builder for copies of the maintenance log. OK Generators is currently providing the service. Phone – 800.385.3187



Photo # 24

Leaking fitting in "hers" master bath.

All fittings should be checked after the hot water is turned on.



Photo # 25

None of the hot water heaters were functioning. All are gas fired.

Circulating pumps are installed but are not electrically connected.



Photo # 26

The "hers" SPA functions properly.



Photo # 27

Exhaust fan in "his" master bath is noisy.



Photo # 28

Kitchen exhaust did not function.



Photo # 29

The pool and SPA pumps work correctly.



Photo # 30

The pool and SPA heaters were not functioning. These are gas fired.

Check with the builder on the status of gas service. There may be an underground tank that needs to be filled. All of the gas devices need to be checked for leaks and tested by service companies.

The kitchen stove did function. It may have a different supply.



Photo # 31

Some of the appliances like this patio area grill were not tested due to packing materials left inside them.



Photo # 32

Drain in front of the main entrance appears to be clogged or in need of some elevation change. This soggy area will always be full of weeds.



Photo # 33

The irrigation system is behind the west garage. The builder was not certain if there was a city water connection as well as this pump as a water source. The pump was functioning properly.



Photo # 34

Tree branches need to be trimmed away from the roof to prevent damage to the clay tiles in high winds.

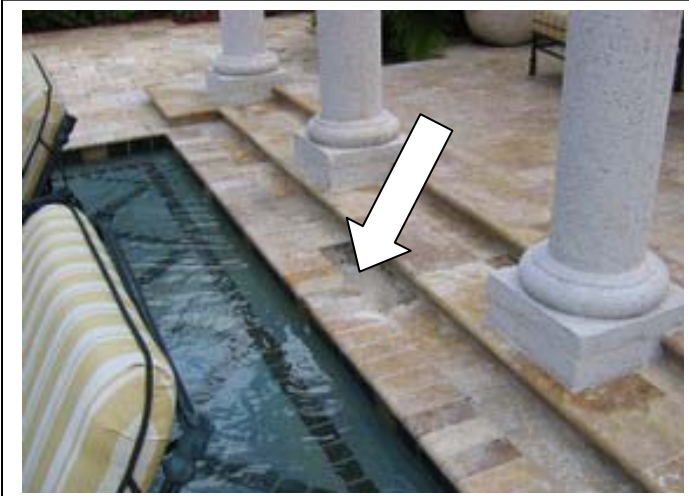


Photo # 35

A paving stone is missing on the east side of the pool.



Photo # 36

The turf is full of fire ants.

This is a maintenance issue for a landscape or pest control company.